



***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

02 HYDREF 2018

02 OCTOBER 2018

RHANBARTH Y DE

AREA SOUTH



***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/36993

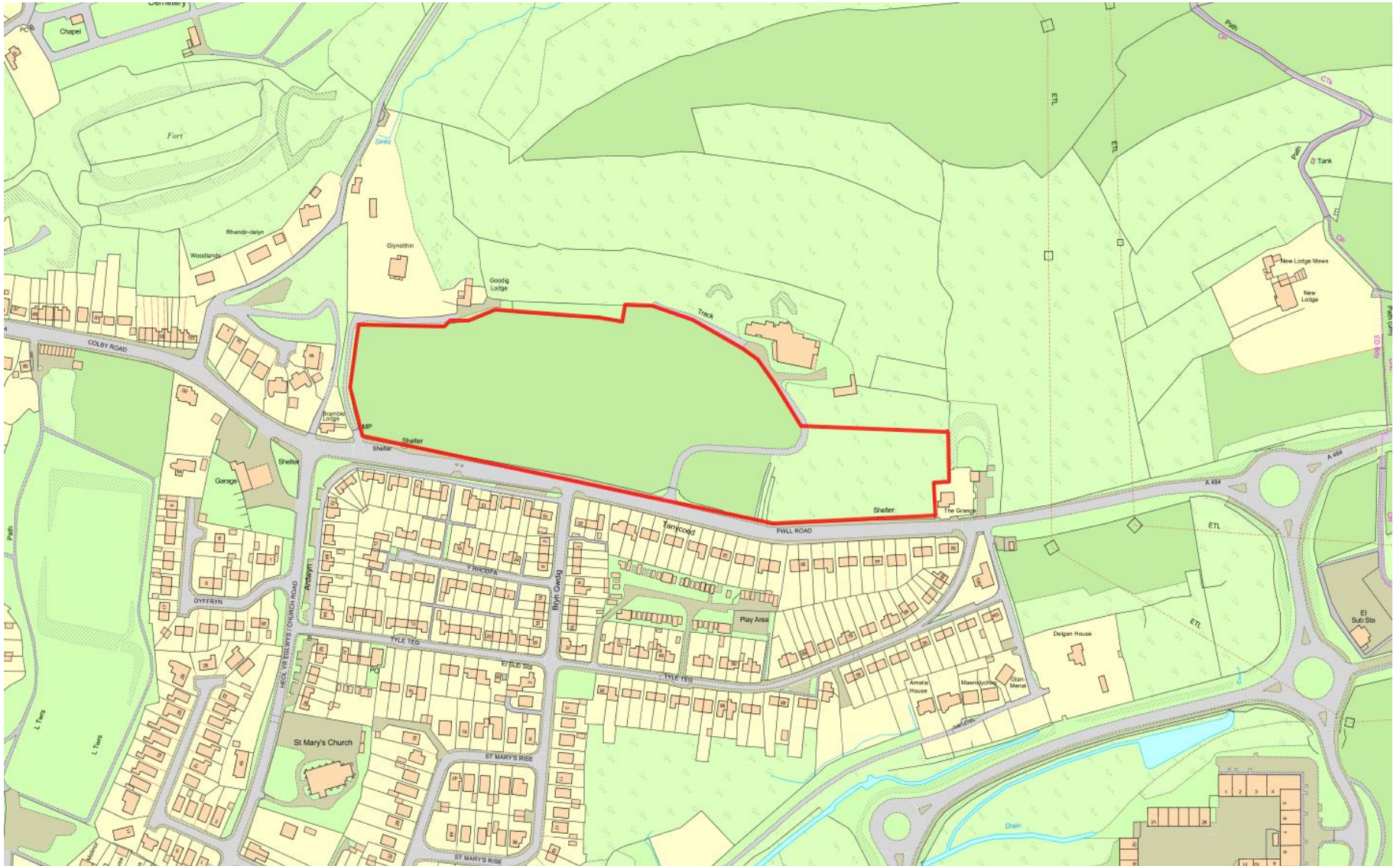
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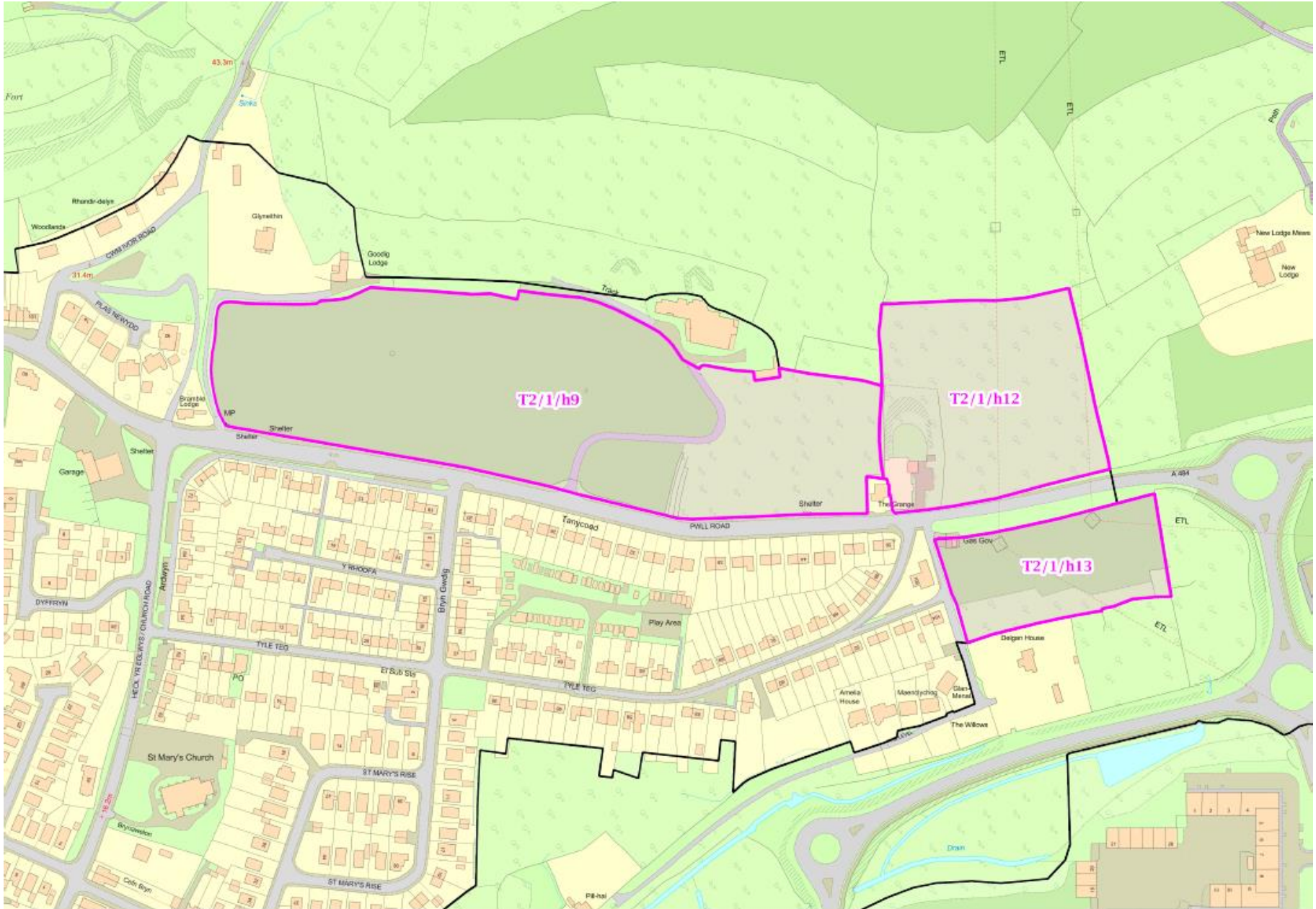
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S/36993



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A - red line amended. 10.5.17

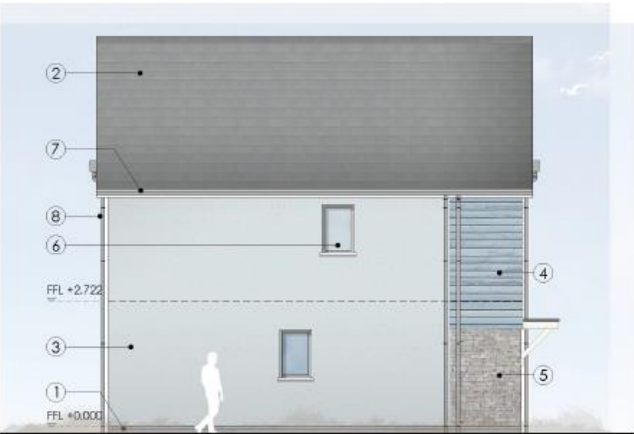
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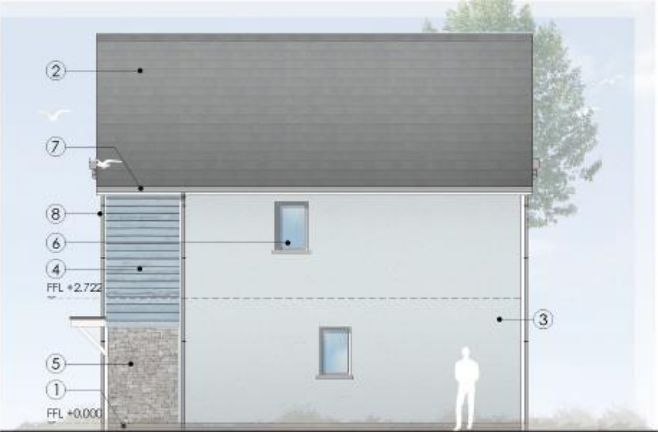
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

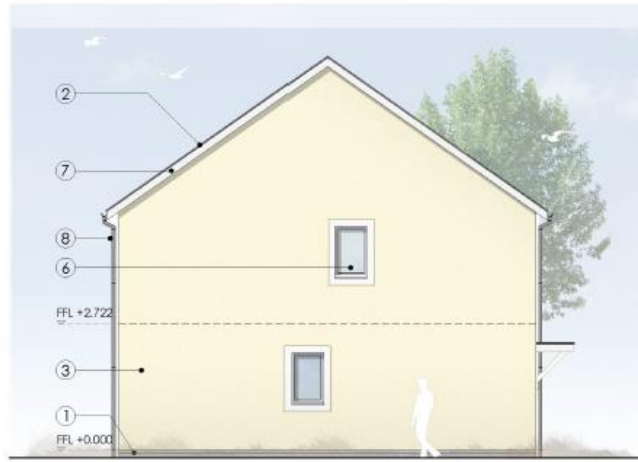
EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



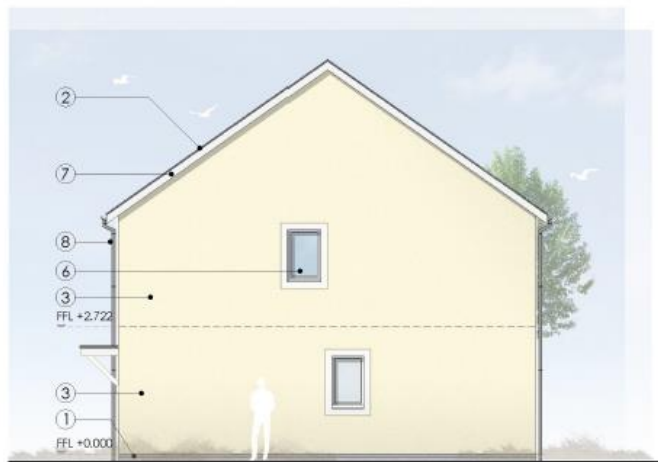
FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4



REAR ELEVATION
OPTION 4



RIGHT SIDE ELEVATION
OPTION 4

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993



FIRST FLOOR PLAN OPTIONS A1,2,3,4,6



GROUND FLOOR PLAN OPTIONS A1,2,3,4,6

Pen-y-Porth, Burry Port.
HOUSE TYPE A1 2 Bedroom House | 764 sq ft

OPTION A1 PLANS
Scale 1:100 @ A3

2249-200-01 Plans
2 Bedroom House | 764 sq ft

S/36993



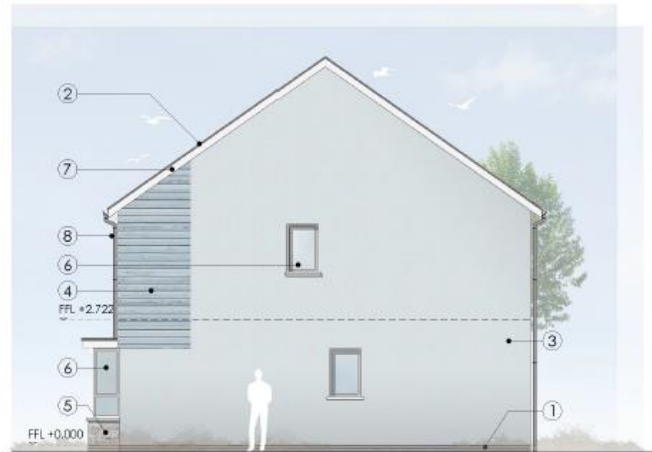
FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5

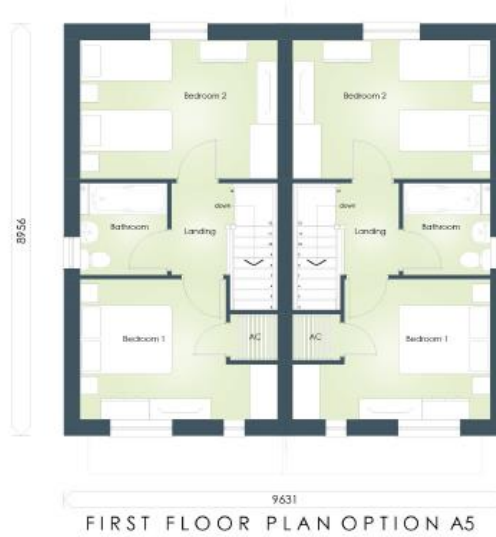


RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wc³ finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



Pen-y-Porth, Burry Port.
HOUSE TYPE A5 2 Bedroom House | 764 sq ft

OPTION A5 PLANS
Scale 1:100 @ A3

2249-200-02 Plans
2 Bedroom House | 764 sq ft

S/36993



FRONT ELEVATION
OPTION 5,7



LEFT SIDE ELEVATION
OPTION 5,7



REAR ELEVATION
OPTION 5,7

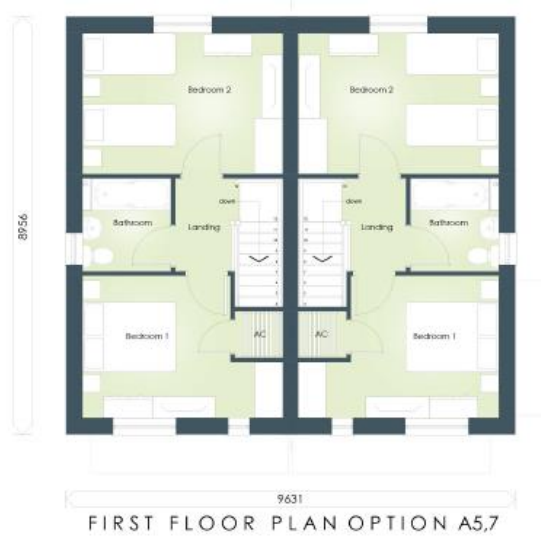


RIGHT SIDE ELEVATION
OPTION 5,7

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993



Pen-y-Porth, Burry Port.
HOUSE TYPE A5,A7 2 Bedroom House | 764 sq ft

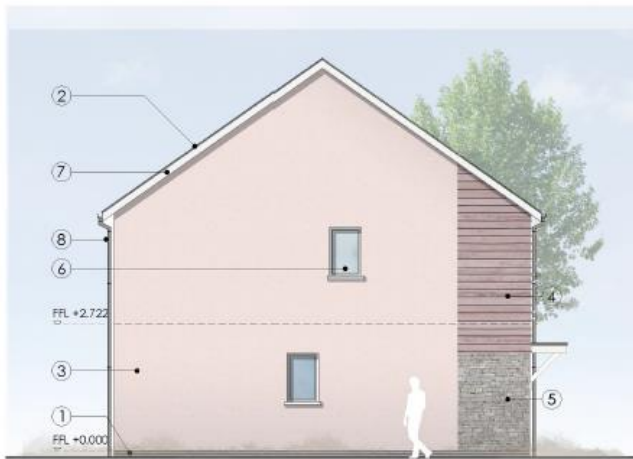
OPTION A5,A7 PLANS
Scale 1:100 @ A3

2249-200-03 Plans
2 Bedroom House | 764 sq ft

S/36993



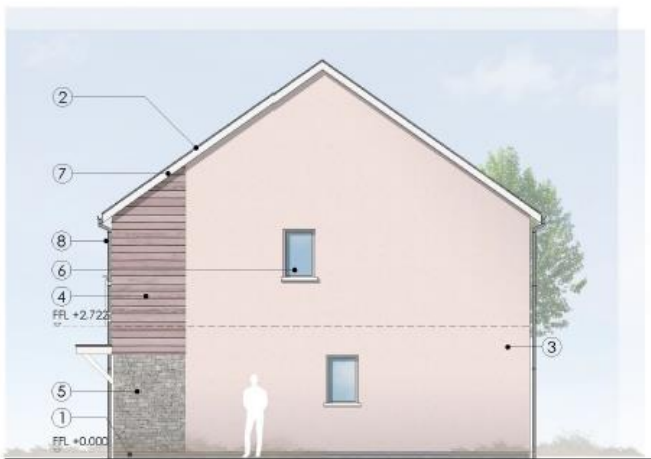
FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1

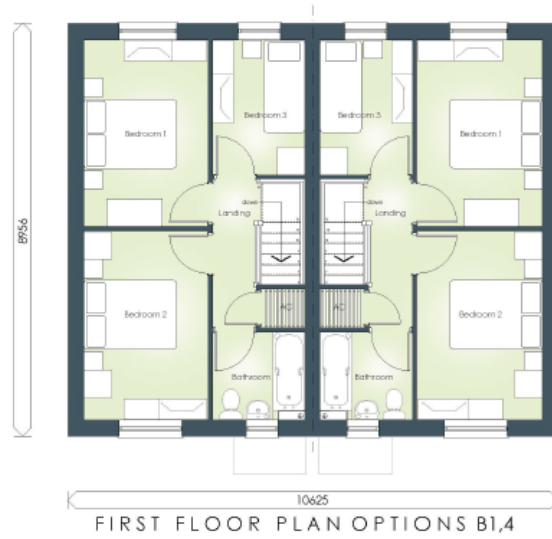


RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



Pen-y-Porth, Burry Port.
HOUSE TYPE B1 3 Bedroom House | 851 sq ft

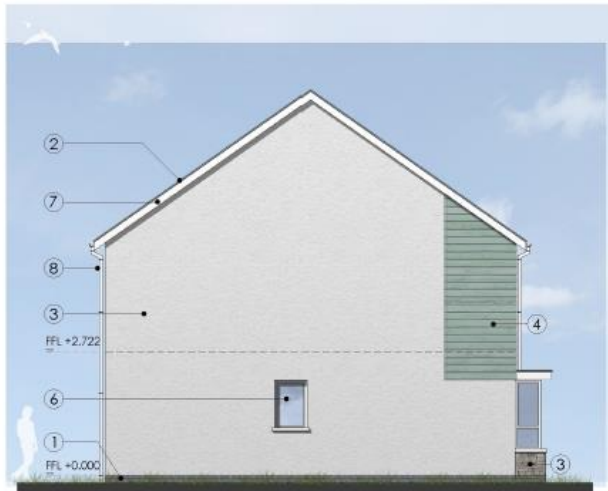
OPTION B1 PLANS
Scale 1:100 @ A3

2249-201-01 Plans
3 Bedroom House | 851 sq ft

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows. Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

Pen-y-Porth, Burry Port.
HOUSE TYPE B2 3 Bedroom House | 851 sq ft

OPTION B2 ELEVATIONS
Scale 1:100 @ A3

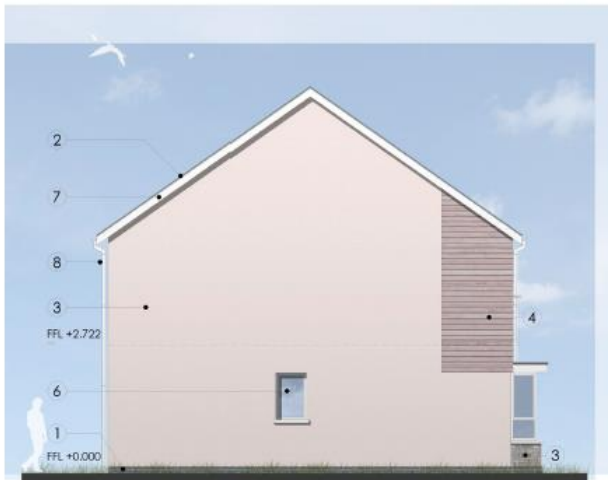
2249-201-05 Elevations
3 Bedroom House | 851 sq ft



S/36993



FRONT ELEVATION
OPTION 3



LEFT SIDE ELEVATION
OPTION 3



REAR ELEVATION
OPTION 3



RIGHT SIDE ELEVATION
OPTION 3

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

S/36993



Pen-y-Porth, Burry Port.
HOUSE TYPE B3 3 Bedroom House | 851 sq ft

OPTION B3 PLANS
Scale 1:100 @ A3

2249-201-02 Plans
3 Bedroom House | 851 sq ft

S/36993



FRONT ELEVATION
OPTION 4



LEFT SIDE ELEVATION
OPTION 4



REAR ELEVATION
OPTION 4



RIGHT SIDE ELEVATION
OPTION 4

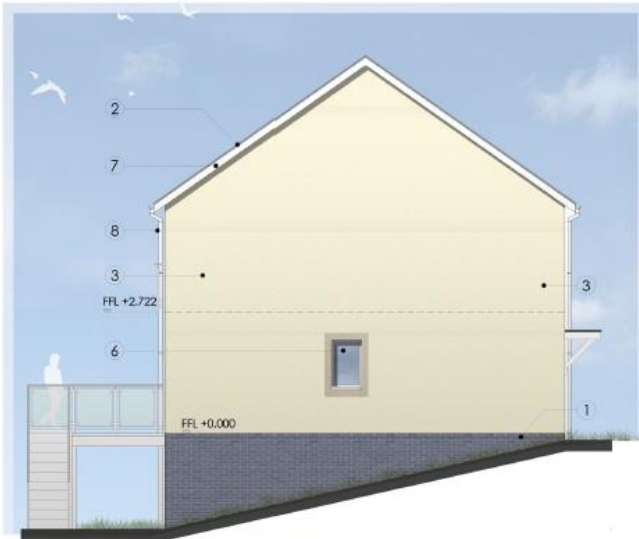
EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.

S/36993



FRONT ELEVATION
OPTION 5



LEFT SIDE ELEVATION
OPTION 5



REAR ELEVATION
OPTION 5



RIGHT SIDE ELEVATION
OPTION 5

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles, Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

S/36993



FIRST FLOOR PLAN OPTIONS B5,6



GROUND FLOOR PLAN OPTIONS B5,6

OPTION B5 PLANS
Scale 1:100 @ A3

Pen-y-Porth, Burry Port.
HOUSE TYPE B5 3 Bedroom House | 851 sq ft

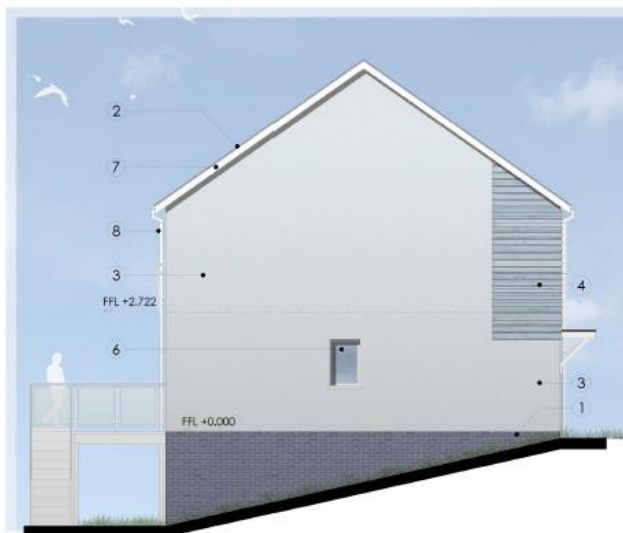
2249-201-03 Plans
3 Bedroom House | 851 sq ft



S/36993



FRONT ELEVATION
OPTION 6



LEFT SIDE ELEVATION
OPTION 6



REAR ELEVATION
OPTION 6



RIGHT SIDE ELEVATION
OPTION 6

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- 1 Approved Engineering brickwork to plinth. Colour Blue.
- 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
- 3 Approved Through Coloured Render Wall Finish.
- 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- 5 Approved Stone Wall Finish. Colour to be confirmed.
- 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
- 7 Upvc fascias and soffits. Colour White.
- 8 Upvc Rainwater Goods. Colour White.

S/36993



FIRST FLOOR PLAN OPTION C1



GROUND FLOOR PLAN OPTION C1

Pen-y-Porth, Burry Port.
HOUSE TYPE C1 4 Bedroom House | 1086 sq ft

OPTION C1 PLANS
Scale 1:100 @ A3

2249-202-01 Plans
4 Bedroom House | 1086 sq ft

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

- EXTERNAL MATERIAL FINISHES SCHEDULE:**
- 1 Approved Engineering brickwork to plinth. Colour Blue.
 - 2 Roof Tiles. Approved Concrete Tiles. Colour Grey.
 - 3 Approved Through Coloured Render Wall Finish.
 - 4 Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
 - 5 Approved Stone Wall Finish. Colour to be confirmed.
 - 6 Upvc Double Glazed Windows, Screens and Doors. Colour White.
 - 7 Upvc fascias and soffits. Colour White.
 - 8 Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

Pen-y-Porth, Bury Port.
HOUSE TYPE C2 4 Bedroom House | 1086 sq ft

OPTION C2 ELEVATIONS
Scale 1:100 @ A3

2249-202-04 Elevations
4 Bedroom House | 1086 sq ft



S/36993



GROUND FLOOR PLAN OPTION C2



FIRST FLOOR PLAN OPTION C2

Pen-y-Porth, Burry Port.
HOUSE TYPE C2 4 Bedroom House | 1086 sq ft

OPTION C2 PLANS
Scale 1:100 @ A3

2249-202-02 Plans
4 Bedroom House | 1086 sq ft

S/36993



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Pen-y-Porth, Burry Port.
HOUSE TYPE D1 4 Bedroom House | 1488 sq ft

OPTION D1 ELEVATIONS
Scale 1:150 @ A3

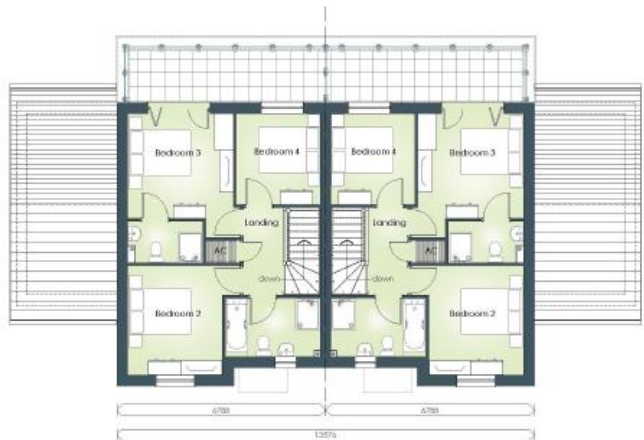
2249- 203- 02 Elevations
4 Bedroom House | 1488 sq ft



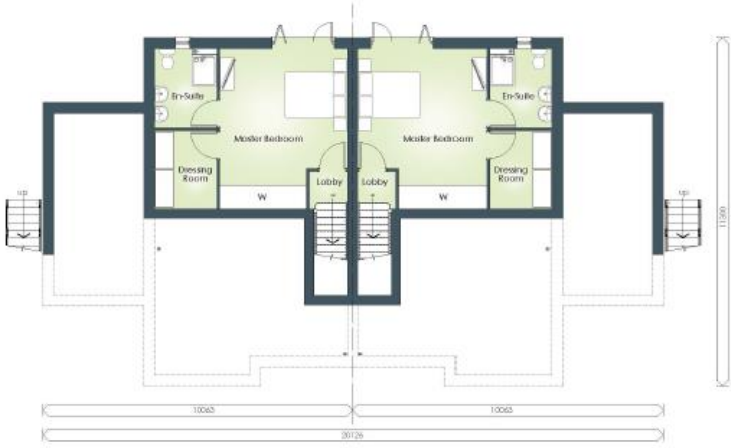
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GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



FIRST FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE



LOWER GROUND FLOOR PLAN
8 PERSON 4 BEDROOM HOUSE TYPE

Pen-y-Porth, Burry Port.
HOUSE TYPE D1 4 Bedroom House | 1488 sq ft

OPTION D1 PLANS
Scale 1:150 @ A3

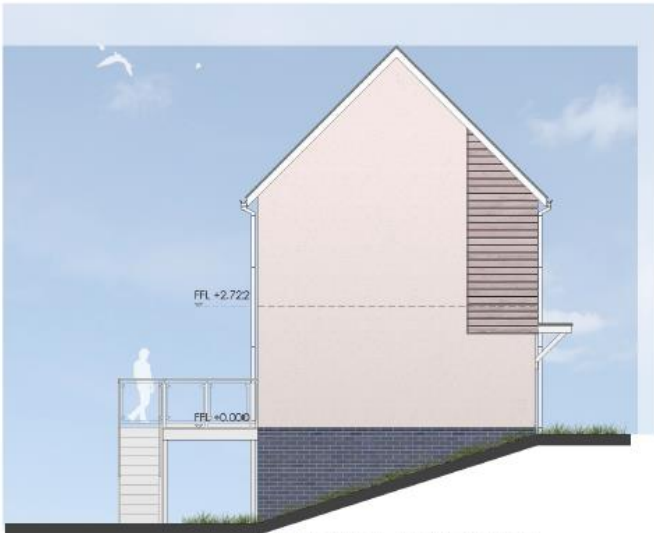
2249-203-01 Plans
4 Bedroom House | 1488 sq ft



S/36993



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

Pen-y-Porth, Burry Port.
HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft

OPTION E1 Elevations
Scale 1:100 @ A3

2249-204-02 Elevations
4 Bedroom House WF | 1082 sq ft



S/36993



GROUND FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF



FIRST FLOOR PLAN
6 PERSON 4 BEDROOM HOUSE TYPE WF

Pen-y-Porth, Burry Port.
HOUSE TYPE E1 4 Bedroom House WF | 1082 sq ft

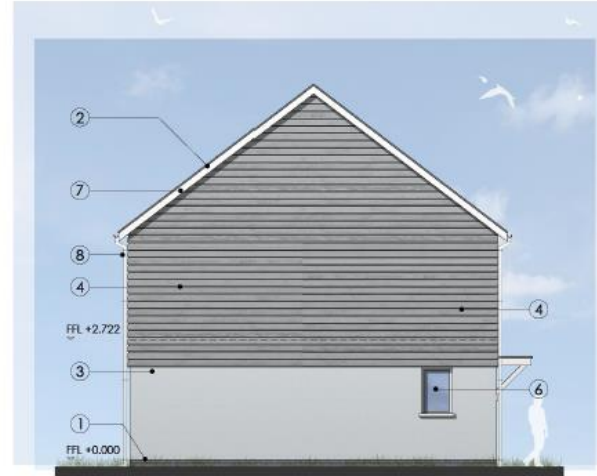
OPTION E1 Plans
Scale 1:100 @ A3

2249-204-01 Plans
4 Bedroom House WF | 1082 sq ft

S/36993



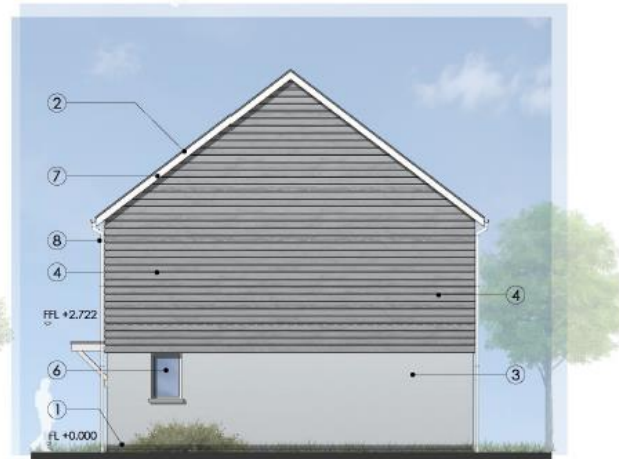
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

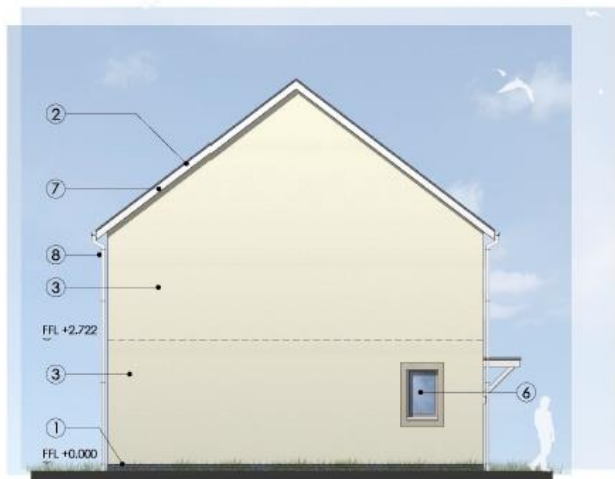
EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

S/36993



GROUND FLOOR PLAN OPTIONS F1,2



FIRST FLOOR PLAN OPTIONS F1,2

Pen-y-Porth, Burry Port.
HOUSE TYPE F1 & F2 2 Bedroom House | 857 sq ft

OPTION F1 & F2 PLANS
Scale 1:100 @ A3

2249-205-01 Plans Rev A
2 Bedroom House | 857 sq ft



S/36993



FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

S/36993



FRONT ELEVATION
OPTION 2



LEFT SIDE ELEVATION
OPTION 2

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth, Colour Blue.
- ② Roof Tiles, Approved Concrete Tiles, Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding, Colours to be confirmed.
- ⑤ Approved Stone Wall Finish, Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors, Colour White.
- ⑦ Upvc fascias and soffits, Colour White.
- ⑧ Upvc Rainwater Goods, Colour White.



REAR ELEVATION
OPTION 2



RIGHT SIDE ELEVATION
OPTION 2

S/36993



13321
FIRST FLOOR PLAN OPTIONS G1,G2



13321
GROUND FLOOR PLAN OPTIONS G1,G2

Pen-y-Porth, Burry Port.
HOUSE TYPE G1, G2 4 Bedroom House

OPTION G1 PLANS
| 1237 sq ft Scale 1:100 @ A3

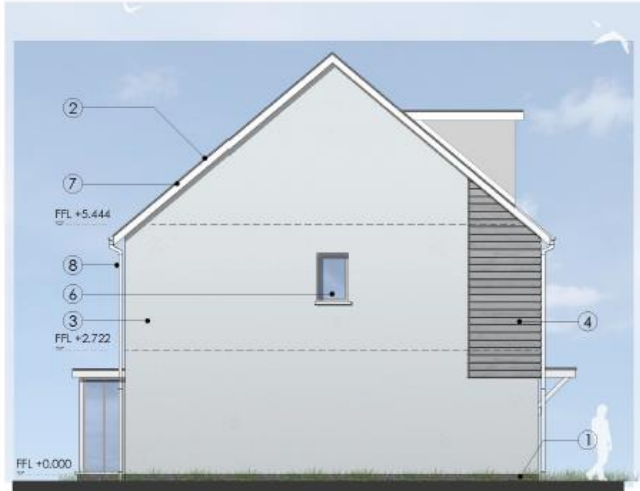
2249-206-01 Plans Rev A
4 Bedroom House | 1237 sq ft



S/36993



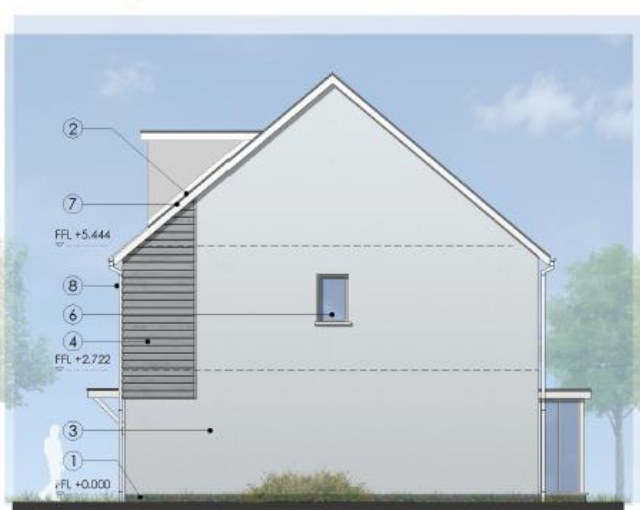
FRONT ELEVATION
OPTION 1



LEFT SIDE ELEVATION
OPTION 1



REAR ELEVATION
OPTION 1



RIGHT SIDE ELEVATION
OPTION 1

EXTERNAL MATERIAL FINISHES SCHEDULE:

- ① Approved Engineering brickwork to plinth. Colour Blue.
- ② Roof Tiles. Approved Concrete Tiles. Colour Grey.
- ③ Approved Through Coloured Render Wall Finish.
- ④ Approved Fibre Cement Weatherboard Cladding. Colours to be confirmed.
- ⑤ Approved Stone Wall Finish. Colour to be confirmed.
- ⑥ Upvc Double Glazed Windows, Screens and Doors. Colour White.
- ⑦ Upvc fascias and soffits. Colour White.
- ⑧ Upvc Rainwater Goods. Colour White.

S/36993



FIRST FLOOR PLAN OPTION H1



SECOND FLOOR PLAN OPTION H1



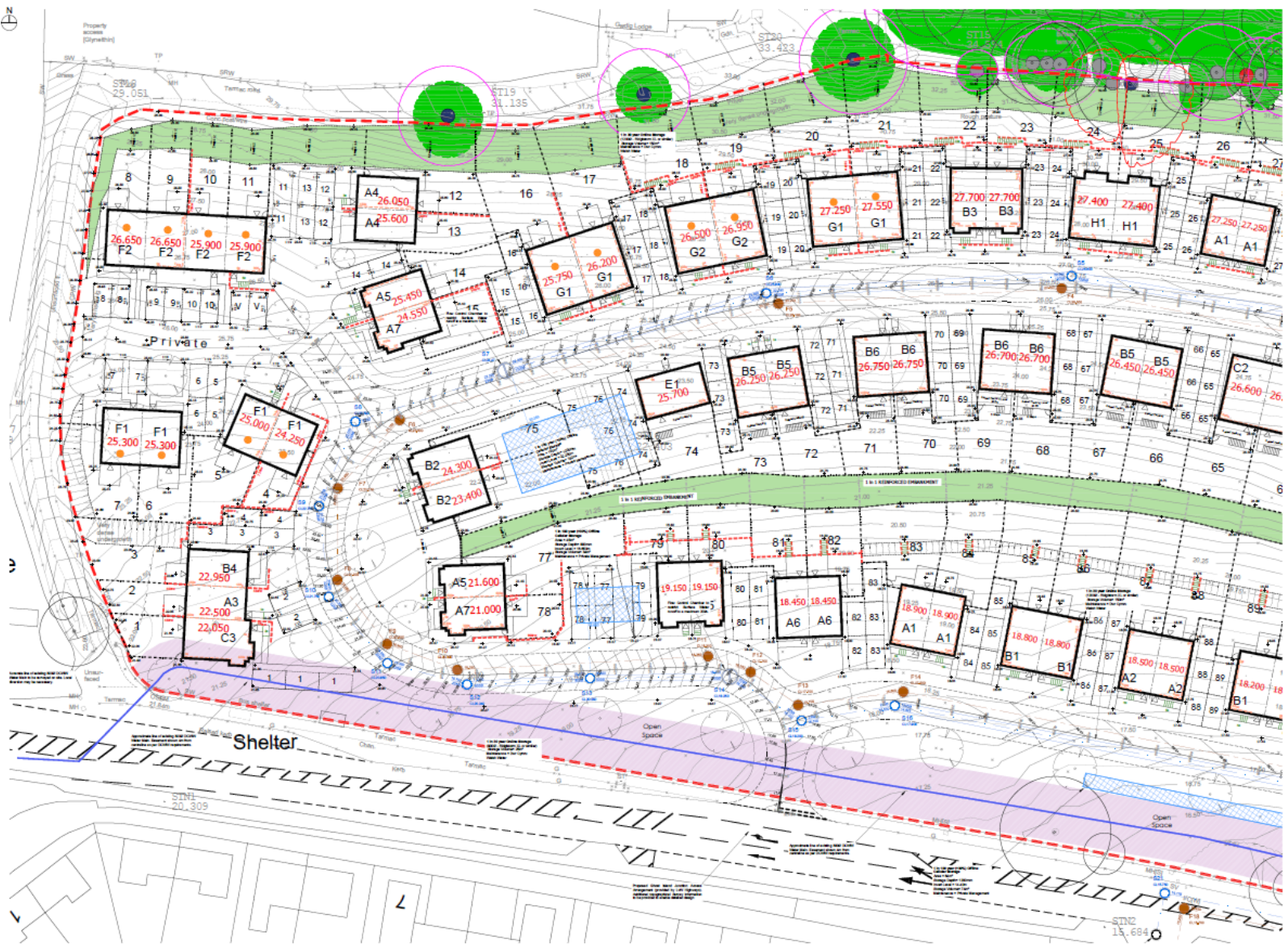
GROUND FLOOR PLAN OPTION H1

Pen-y-Porth, Burry Port.
HOUSE TYPE H1 4 Bedroom House | 1422 sq ft

OPTION H1 PLANS
Scale 1:100 @ A3

2249-207-01 Plans
4 Bedroom House | 1422 sq ft

S/36993



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and sewer layout marks of structures shown before work starts. Any discrepancy is to be reported to Survey Design before work commences.

The Contractor is to comply in all respects with current building legislation - building structural operations, building regulations etc, whether or not specifically stated on this drawing.

The drawing must be read with and checked against any other relevant and other applicable documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground construction. Each area of ground shall remain to accept any structure proposed showing drainage must be investigated for the Contractor. A suitable method of foundation should be provided showing all existing ground conditions. Any aspect of soil ground conditions or any other site ground, should be further investigated by a suitable expert for ground only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a Full Arborescence Inspection for safety.

The existing ground levels along the limits of the proposed site are to be confirmed by the Contractor before work commences.

All works which are to be the subject of a Section 55 Agreement are to be undertaken in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current code and standards of construction. All construction materials used are to be certified by suitable U.K. testing in accordance with Construction Products Board requirements.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approval for the proposed construction, or where none is not requested strictly in accordance with the drawing.

A note on upper levels should not be treated as a design. Levels are shown for information only. All levels are indicated as a use of appropriate terms or standard form symbols and shall not be relied upon.

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REV	DATE	DESCRIPTION
A	05.04.19	Levels amended and storm drainage added.
B	05.06.19	Main embankment and lower garden levels amended.
C	26.06.19	Updated to latest site layout following planners comments.

BY: MCC
 CDM
 CDM

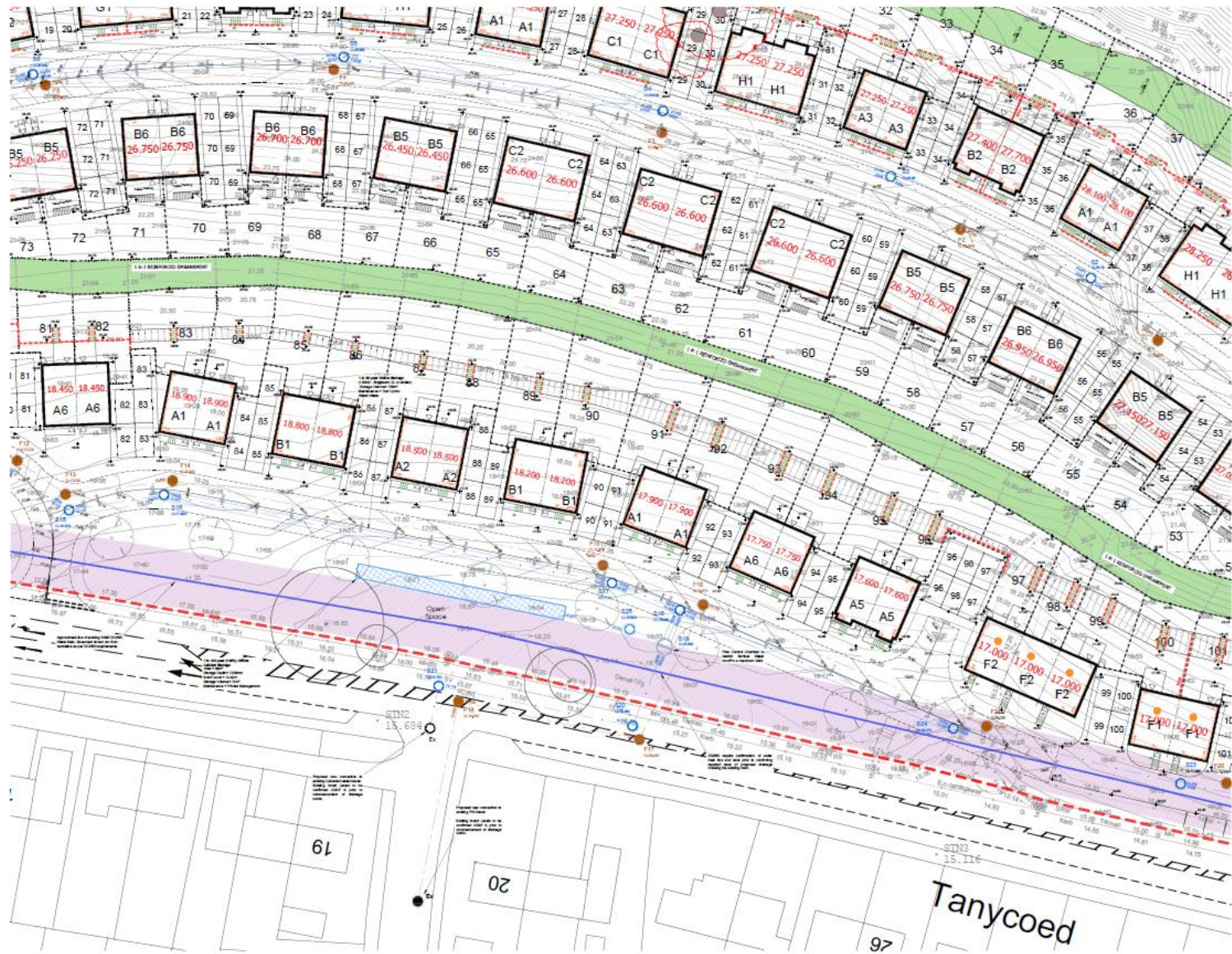
Status: **PRELIMINARY**

Drawn: MCC
 Checked: CTW
 Date: Feb 2018
 Scale: 1:250 (A1)

Client: Pobl Group
 Project: Pobl Road, Barry Port
 Title: Engineering Layout (3 of 4)
 Ref: 2249/520-1
 Rev: 0

S/36993

CHZ



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and water level levels at construction levels before work starts. Any discrepancy is to be reported to Spring Design before work commences.

The Contractor is to comply with all relevant work control, signage, hoarding, drainage, identification, safety, regulations, etc. whether or not specifically stated in this drawing.

The drawing must be read with care and checked against any existing, subsisting or other applicable documentation provided.

This drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shown shall be subject to a thorough check-out prior to the start of any construction by the Contractor. The Contractor is to be responsible for the ground conditions for all existing ground conditions. Any support or test ground conditions on or within the ground shall be further investigated by a relevant expert and any additional construction shall be subject to the guidance only and should be further investigated by a relevant expert.

Where existing trees are shown to be retained they should be protected in full accordance with the relevant legislation and the relevant Local Highway Authority's Engineer.

All works which are to be subject of a Section 38 Agreement are to be completed in accordance with the Local Highway Authority's written specifications and the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the contract and all long-term specifications. All work construction shall be in accordance with the relevant Building Regulations and the satisfaction of the relevant Building Control Officer.

No responsibility will be taken for any construction work undertaken prior to receipt of relevant approvals for the relevant construction, or where work is not completed in accordance with the drawings.

A number of items shown should not be treated as shown unless it is stated that the drawing is not to be used for any other purpose. Where shown, items are shown as a guide only and are not to be used for any other purpose. The use of appropriate names or construction has been shown with standard symbols.

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REV	DATE	DESCRIPTION
A	05.04.18	1. Levels amended and main drainage added.
B	05.06.18	Main embankment and lower garden levels amended.
C	26.06.18	Updated to latest site layout following planners comments.

by:
MCC
CTW
CMH

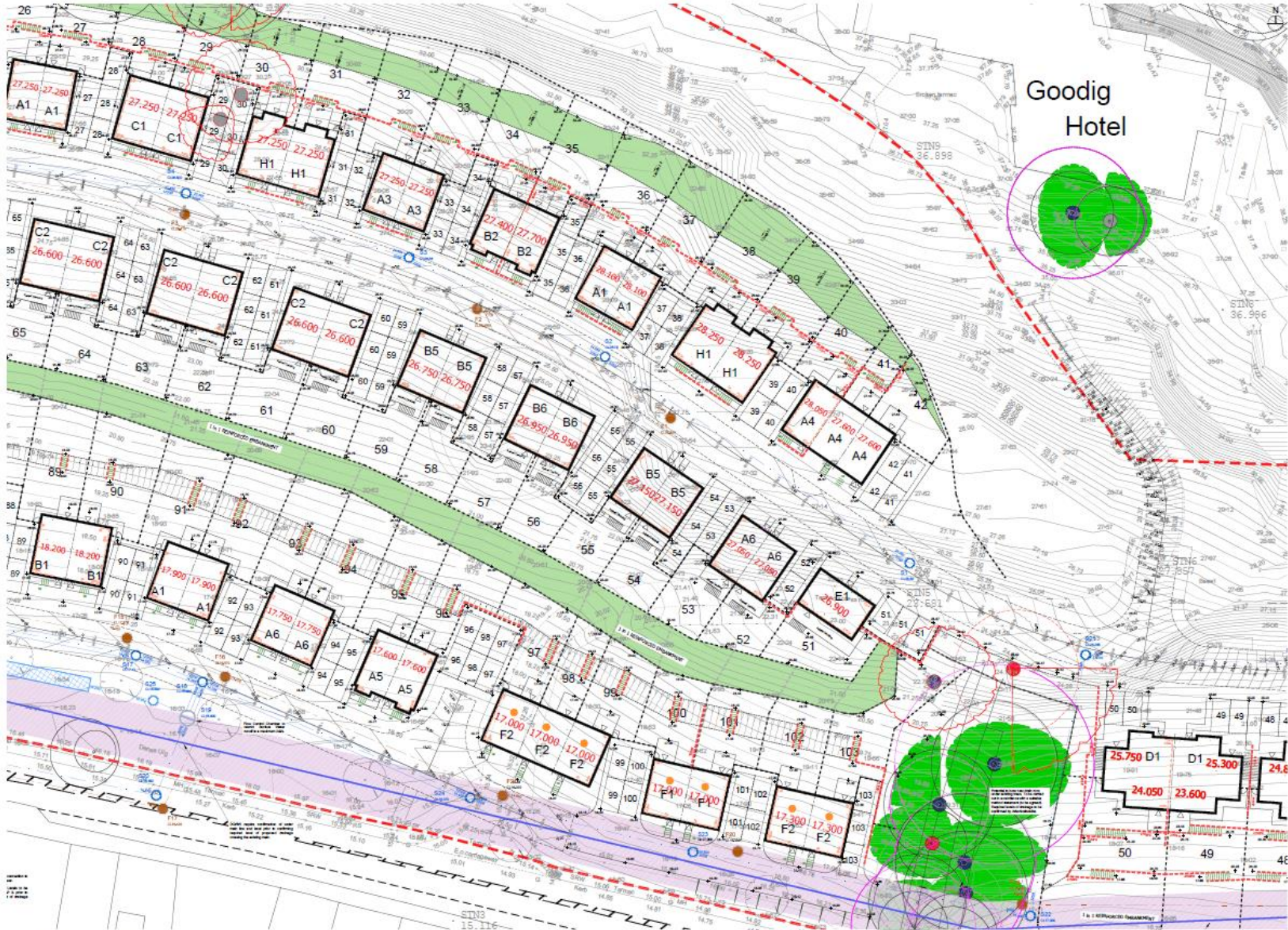
Status:
PRELIMINARY

Drawn: MCC
Checked: CTW
Date: Feb 2018
Scale: 1:250 (A1)

Client: Pobl Group
Project: Pwll Road, Barry Port
Title: Engineering Layout (2 of 6)
Ref: 2249/020-2
Rev: 0

spring
DESIGN
0017 533488 Barry Port, Merthyr Tydfil
Mid Glamorgan, CF23 6LN
info@springdesign.co.uk

S/36993



GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and sewer level levels of construction prior to starting design before construction. It is to be reported to Spring Design before construction.

The Contractor is to comply in all respects with current building regulations including structural specifications, building regulations etc. unless so specified on this drawing.

The drawing must be read with and checked against any electronic geospatial or other associated documentation provided.

The drawing is not intended to show details of foundations, ground conditions or ground conditions. Where a ground level is shown, the ground level should be investigated by the Contractor. A suitable method of foundation should be provided allowing for all existing ground conditions. Any aspect of that ground conditions not on or within the ground, should be further investigated by a suitable expert. Any further investigation should include a report for guidance only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a BS 5839 inspection for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

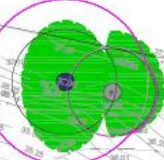
All works which are to be the subject of a Section 55 Agreement are to be completed in accordance with the Local Highway Authority's agreed specifications and the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be undertaken in accordance with the current code of practice and engineering standards of the Local Highway Authority. Materials are not to be used unless they are approved by the Local Highway Authority's Engineer.

No responsibility will be taken for any construction work undertaken prior to receipt of relevant approvals for the intended construction, or other work, or not undertaken within in accordance with the drawing.

A notice of objection should not be issued closer to these matters unless that the contractor is at least 10 days prior to the start of construction. The contractor is to be notified of any objection as soon as possible by the Local Highway Authority's Engineer.

Goodig Hotel



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No.	Date	Description	By
1	25.04.18	Labels amended and main drainage added.	MCC
2	25.05.18	Updated to latest site layout following planning comments.	COM

Status: **PRELIMINARY**

Drawn: MCC
Checked: CTW
Date: Feb 2018
Scale: 1:250 (A1)

Client: Publ Group
Project: Pell Road, Barry Port
Title: Engineering Layout D of 6
Ref: 2249/520-3
Rev: B



S/36993



GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels and some level levels of construction points before work starts. Any discrepancies are to be reported to Spring Design before work commences.

The Contractor is to comply with all relevant local council building regulations - Building Standards Specifications, Building Regulations etc, whether or not specifically stated in this drawing.

The drawing must be read with and checked against any existing legislation or other approved documentation provisions.

This drawing is not intended to show details of construction, ground conditions or ground water conditions. Such items of ground detail shall be reported and retained (including drainage) must be investigated by the Contractor to suitable nature of foundation must be provided allowing for all existing ground conditions. Any depths or that ground conditions or or within the ground should be further investigated by a suitable suitably qualified geotechnical engineer. Typical values for guidance only and must be further investigated by a geotechnical engineer.

Where existing trees are shown to be retained they should be accepted in a full retention specification for safety.

The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before work commences.

All roads which are to be the subject of a Section 38 Agreement are to be confirmed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All structures, foundations and materials specifications are to be in accordance with the current code and standards. An appropriate certificate of compliance must be provided to confirm by suitable C.A.R. testing in accordance with Construction Industry Council requirements.

No responsibility will be taken for any construction with inadequate prior to receipt of technical approvals for the intended construction, or where work is not completed in accordance with the drawings.

A survey or other data should not be treated as more than a guide unless it is confirmed by a suitable surveyor or geotechnical engineer. A survey or other data should not be treated as more than a guide unless it is confirmed by a suitable surveyor or geotechnical engineer.

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Rev	Date	Description	By
A	20.06.18	Updated to latest site layout following planning comments.	CMH

Status: **PRELIMINARY**

Drawn: MCC
 Checked: CTW
 Date: Feb 2018
 Scale: 1:250 (A1)

Client: Publ Group
 Project: Pwll Road, Burry Port
 Title: Engineering Layout (4 of 6)
 Ref: 2248/520-4
 Rev: A



S/36993

legend

- site used hedge
- preservation of existing site 1 bank
- existing tree and its bank
- proposed new hedge boundary
- 7 species tree
- existing tree and its bank
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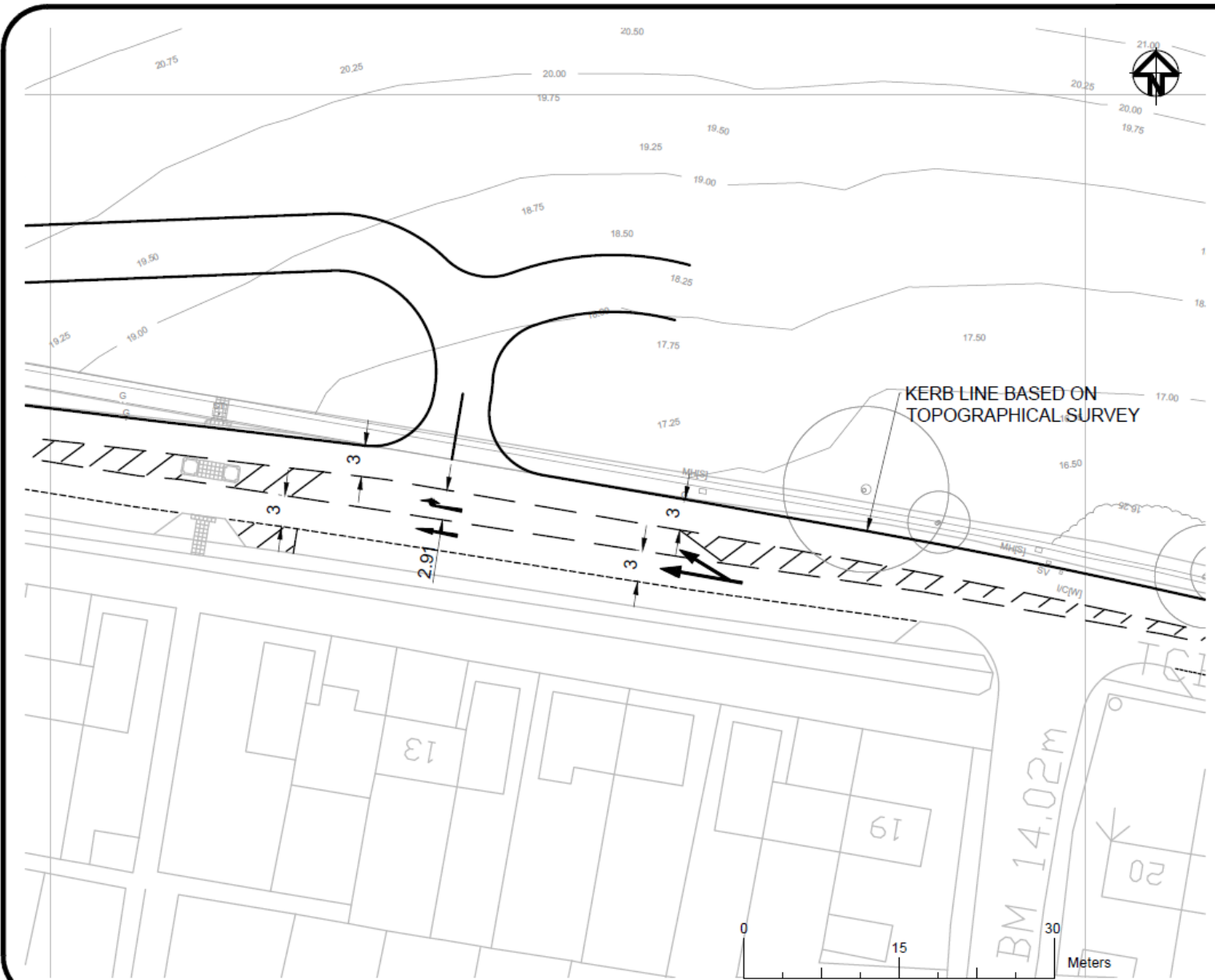
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planting specification

Species	ID	No.	Latin Name	Schedule 5 Size	Notes
SP12	01	1	Platanus occidentalis	20'	100% soil
SP13	02	1	Fraxinus excelsior	20'	100% soil
SP14	03	1	Quercus robur	20'	100% soil
SP15	04	1	Castanea sativa	20'	100% soil
SP16	05	1	Prunella vulgaris	20'	100% soil
SP17	06	1	Rosa rugosa	20'	100% soil
SP18	07	1	Philadelphus coronatus	20'	100% soil
SP19	08	1	Hamamelis virginica	20'	100% soil
SP20	09	1	Alnus glutinosa	20'	100% soil
SP21	10	1	Salix alba	20'	100% soil
SP22	11	1	Corylus avellana	20'	100% soil
SP23	12	1	Corylus heterophylla	20'	100% soil
SP24	13	1	Alnus incana	20'	100% soil
SP25	14	1	Castanea vespa	20'	100% soil
SP26	15	1	Prunella vulgaris	20'	100% soil
SP27	16	1	Rosa rugosa	20'	100% soil
SP28	17	1	Philadelphus coronatus	20'	100% soil
SP29	18	1	Hamamelis virginica	20'	100% soil
SP30	19	1	Alnus glutinosa	20'	100% soil
SP31	20	1	Salix alba	20'	100% soil
SP32	21	1	Corylus avellana	20'	100% soil
SP33	22	1	Corylus heterophylla	20'	100% soil
SP34	23	1	Alnus incana	20'	100% soil
SP35	24	1	Castanea vespa	20'	100% soil
SP36	25	1	Prunella vulgaris	20'	100% soil
SP37	26	1	Rosa rugosa	20'	100% soil
SP38	27	1	Philadelphus coronatus	20'	100% soil
SP39	28	1	Hamamelis virginica	20'	100% soil
SP40	29	1	Alnus glutinosa	20'	100% soil
SP41	30	1	Salix alba	20'	100% soil
SP42	31	1	Corylus avellana	20'	100% soil
SP43	32	1	Corylus heterophylla	20'	100% soil
SP44	33	1	Alnus incana	20'	100% soil
SP45	34	1	Castanea vespa	20'	100% soil
SP46	35	1	Prunella vulgaris	20'	100% soil
SP47	36	1	Rosa rugosa	20'	100% soil
SP48	37	1	Philadelphus coronatus	20'	100% soil
SP49	38	1	Hamamelis virginica	20'	100% soil
SP50	39	1	Alnus glutinosa	20'	100% soil
SP51	40	1	Salix alba	20'	100% soil
SP52	41	1	Corylus avellana	20'	100% soil
SP53	42	1	Corylus heterophylla	20'	100% soil
SP54	43	1	Alnus incana	20'	100% soil
SP55	44	1	Castanea vespa	20'	100% soil
SP56	45	1	Prunella vulgaris	20'	100% soil
SP57	46	1	Rosa rugosa	20'	100% soil
SP58	47	1	Philadelphus coronatus	20'	100% soil
SP59	48	1	Hamamelis virginica	20'	100% soil
SP60	49	1	Alnus glutinosa	20'	100% soil
SP61	50	1	Salix alba	20'	100% soil
SP62	51	1	Corylus avellana	20'	100% soil
SP63	52	1	Corylus heterophylla	20'	100% soil
SP64	53	1	Alnus incana	20'	100% soil
SP65	54	1	Castanea vespa	20'	100% soil
SP66	55	1	Prunella vulgaris	20'	100% soil
SP67	56	1	Rosa rugosa	20'	100% soil
SP68	57	1	Philadelphus coronatus	20'	100% soil
SP69	58	1	Hamamelis virginica	20'	100% soil
SP70	59	1	Alnus glutinosa	20'	100% soil
SP71	60	1	Salix alba	20'	100% soil
SP72	61	1	Corylus avellana	20'	100% soil
SP73	62	1	Corylus heterophylla	20'	100% soil
SP74	63	1	Alnus incana	20'	100% soil
SP75	64	1	Castanea vespa	20'	100% soil
SP76	65	1	Prunella vulgaris	20'	100% soil
SP77	66	1	Rosa rugosa	20'	100% soil
SP78	67	1	Philadelph		

S/36993



General Notes

NOTES

1. ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE.
2. DO NOT SCALE THIS DRAWING.
3. ALL LEVELS ARE IN METRES ABOVE ORDNANCE DATUM (AOD).
4. ANY DISCREPANCIES TO BE REPORTED TO THE ENGINEER.
5. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER RELEVANT ARCHITECTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS.
6. THE SPECIFICATION FOR THE WORKS SHALL BE THE DEPARTMENT OF TRANSPORT SPECIFICATION FOR HIGHWAY WORKS 1998 AS AMENDED BY THE LOCAL HIGHWAY AUTHORITY HIGHWAYS DESIGN GUIDE.
7. COPYRIGHT OF THIS DRAWING IS RETAINED BY THE ENGINEER AND IT MUST NOT BE REPRODUCED IN WHOLE OR PART WITHOUT WRITTEN CONSENT.

A For Discussion		
No.	Reviser/Issue	Date

Prepared by and Address

LvW Highways

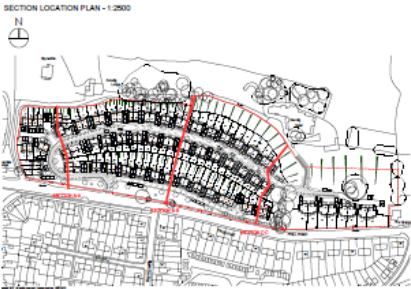
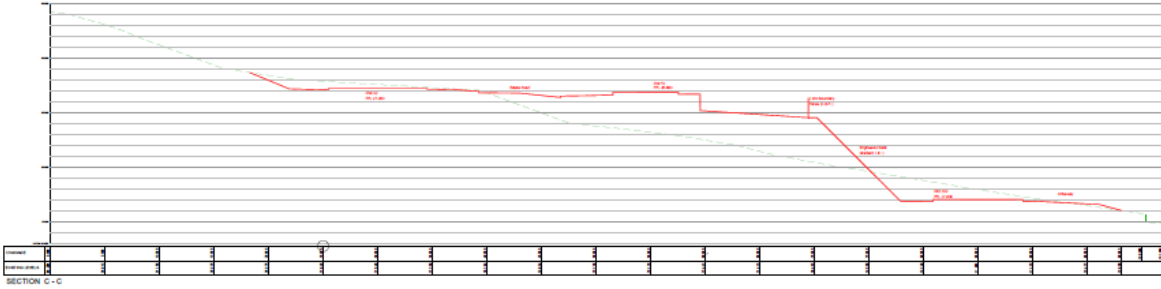
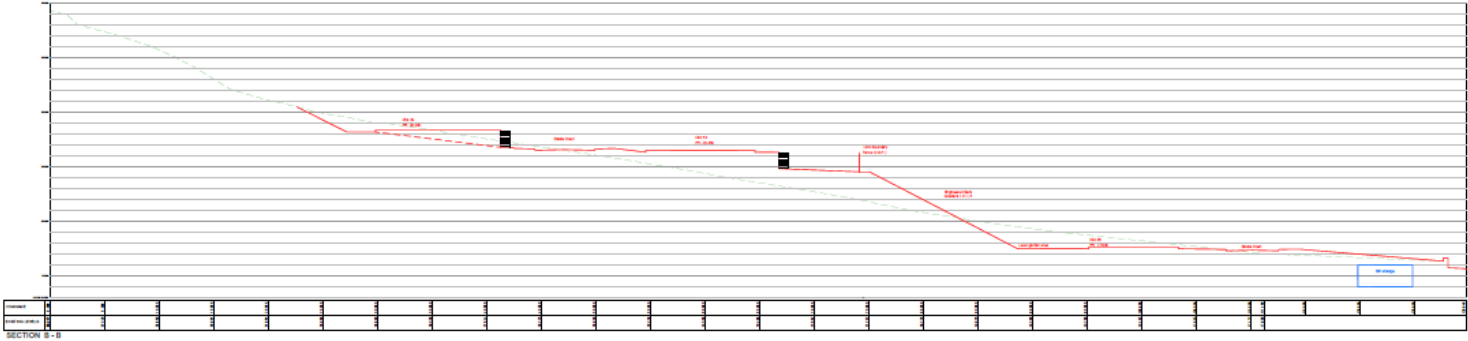
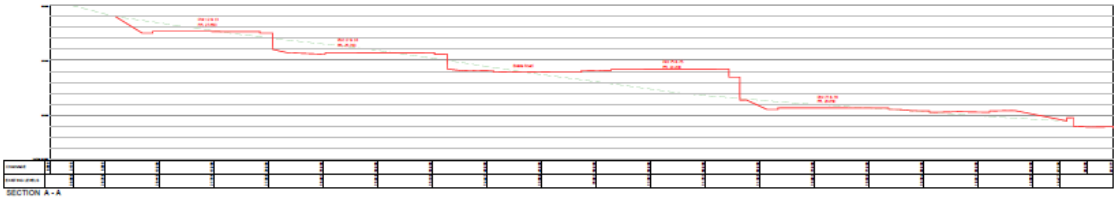
LvW Highways Ltd
 25 Sturt Street
 Brisbane, QLD 4000
 Australia
 Tel: 07 287 20076
 Fax: 07 766 20625

Project Name and Address

Goodig Hotel, Pwll Road,
 Burry Port, Carms.
 Proposed Junction
 Ghost Island
 Road Markings

Project	2017-391	Sheet	SK04
Date	11.04.2018		
Scale	1:500@A4L		

S/36993



This drawing is to demonstrate an initial engineering concept, highlight risks and provide guidance for early cost planning. The design of the levels and drainage is subject to change at the detailed design stage and following consultation with key stakeholders including NEM, DCW and Cambridgeshire County Council.

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rev	date	Description	by
A	04/03/17	Updated to add final Site Layout and Levels	MC

Status: **PRELIMINARY**

Drawn: CSM
 Checked: CTW
 Date: Mar. 2017
 Scale: 1:200 (A3)

Client: Post Group
 Project: Pelt Road, Surry Port.
 Title: Proposed Site Cross Sections.
 Ref: 2249/S01-3 Rev: A



S/36993



S/36993



S/36993



S/36993



S/36993



S/36993

GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels and sewer level levels at construction points before work starts. Any discrepancy is to be reported to Spring Design before work commences.

The Contractor is to comply with all records with current building regulations - Building Standards Specifications, Building Regulations etc., whether or not specifically stated in this drawing.

The existing road to be met with and checked against any existing, pedestrian or other separate circumstances provided.

This drawing is not intended to show details of foundations, ground conditions or ground contamination. Any level of ground shown shall be treated as a minimum condition. In the event of any ground conditions or contamination in the proposed area of construction which are not shown, the Contractor should be notified by a suitable expert or their ground contamination or or within the ground should be further investigated by a suitable expert. Any such investigation should include typical samples for geotechnical and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a BS Arboriculture Inspection for safety.

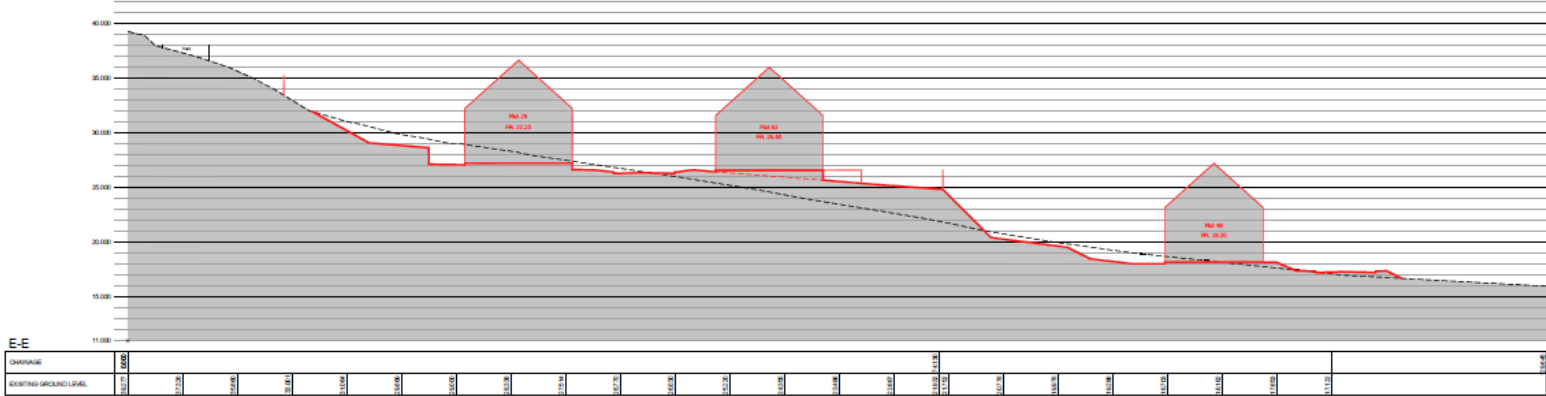
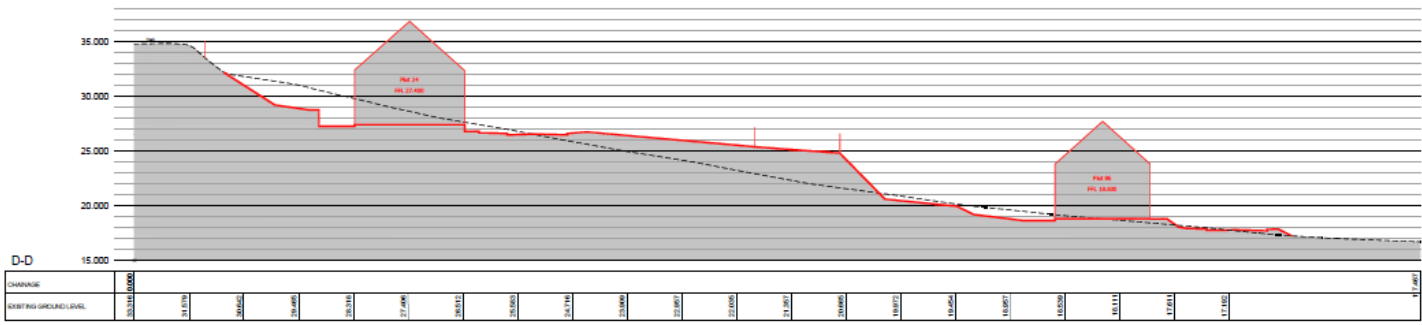
The existing ground levels along the route of the proposed road are to be confirmed by the Contractor before works commence.

All roads which are to be the subject of a Section 28 Agreement are to be constructed in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current road and drainage specifications. All road construction treatments are to be confirmed by suitable C.R.K. bedding in accordance with Construction Company Publications.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the intended construction, or where work is not executed in accordance with the drawings.

A sewer or water drain should not be located closer to a new building unless the minimum depth at least height, width where special protection measures are provided, is in accordance with the current Building Regulations. All such construction treatments are to be confirmed by suitable C.R.K. bedding in accordance with Construction Company Publications.



This drawing is copyright and its use or reproduction without the permission of Spring Design Consultancy Limited. All rights are reserved until invoice are paid in full. No responsibility will be taken for any design used for construction prior to receipt of relevant approvals.

REV	DATE	DESCRIPTION	BY
A	05.04.18	Levels amended.	MCC
B	26.06.18	Updated to latest site layout following planners comments.	CM

Status: **PRELIMINARY**

Drawn: SA	Client: Pobl Group
Checked: MCC	Project: Pwll Road, Bury Port
Date: Feb 2018	Title: Site Sections (3 of 6)
Scale: 1:200 (A1)	Ref: 2249/835-3
	Rev: B

spring
 CONSULTANCY
 Unit 3 Chapel Barak Marlow, Bucks
 MK35 9EF
 Tel: 01494 450000
 Mail: info@spring-consultancy.co.uk

S/36993



1:500

GENERAL NOTES:

The Contractor is to check and verify all building and site dimensions, levels and areas. Check levels in construction areas before work starts. Any discrepancy is to be reported to the design team with supporting evidence.

The Contractor is to comply in all respects with current building regulations, Building Standards, Building Regulations etc., whether or not specifically stated on the drawing.

The ground levels are shown with and should be agreed with the structural, geotechnical or other specialist consultant as required.

The drawing is not intended to show details of foundation, ground conditions or ground movements, but areas of ground level change to indicate any structure impacted (including drainage) must be investigated by the Contractor. A suitable method of foundation should be provided allowing for all existing ground conditions. Any material or fill placed, incorporated in or on the ground, should be fully investigated for a suitable means for ground stability and should be fully investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a full arboricultural inspection for safety.

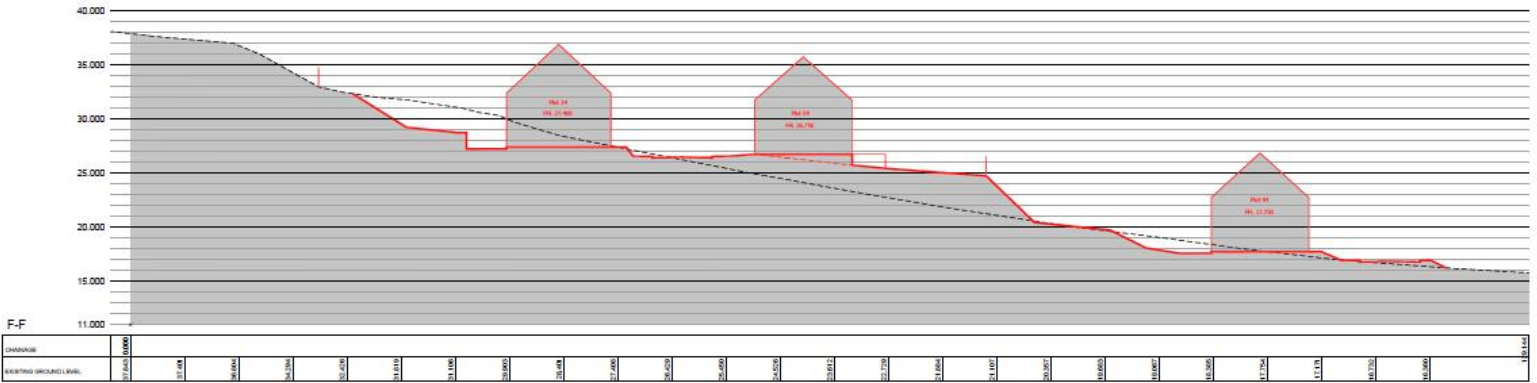
The existing ground levels along the side of the proposed road are to be confirmed by the Contractor before works commence.

All levels which are to be the subject of a Section 55 Agreement are to be confirmed in accordance with the Local Highway Authority's current specifications, and in the specification of the Local Highway Authority's Engineer.

All construction methods and materials proposed are to be in accordance with the current code and appropriate specifications. All road construction treatments are to be confirmed by suitable C.R.C. before commencement with construction and to comply with current requirements.

No responsibility will be taken for any construction methods or materials used if not approved for the intended construction of which work is not detailed in accordance with the drawing.

A review of what has been shown on the drawing shall be taken to ensure it is in accordance with the current code and appropriate specifications. All road construction treatments are to be confirmed by suitable C.R.C. before commencement with construction and to comply with current requirements.



1:200

S/36993



DISCLAIMER NOTICE:
 The Contractor is to check and verify all building and site dimensions, levels and sewer level notes at connection points before work starts. Any discrepancies are to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building regulations, building standards, specifications, building regulations etc., whether or not specifically stated on the drawing.

The drawing must be read with and checked against any planning, permission or other specialist construction provisions.

The drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shall open to support any structure detailed (including drainage) shall be investigated by the Contractor. A suitable method of foundation shall be provided allowing for all existing ground conditions. Any subject of full ground investigations or in situ test pits, should be further investigated by a suitable expert. Any soil test results should include typical scope for guidance only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a BS Arboricultural Inspection for safety.

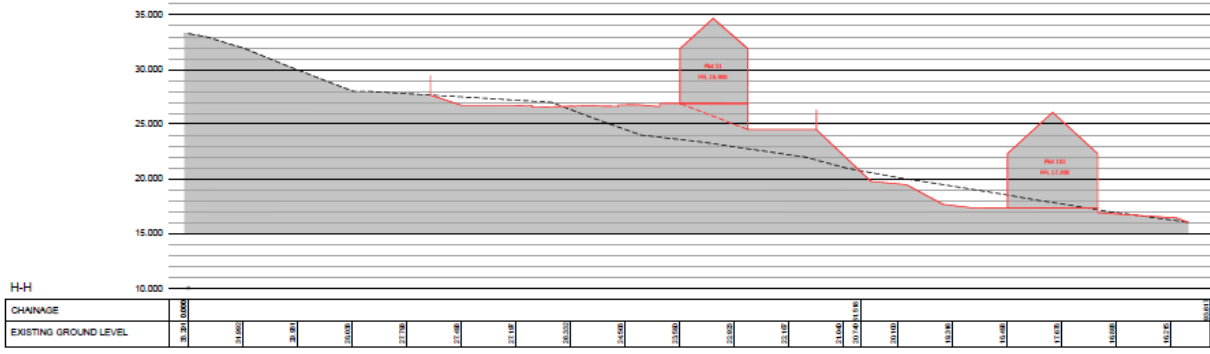
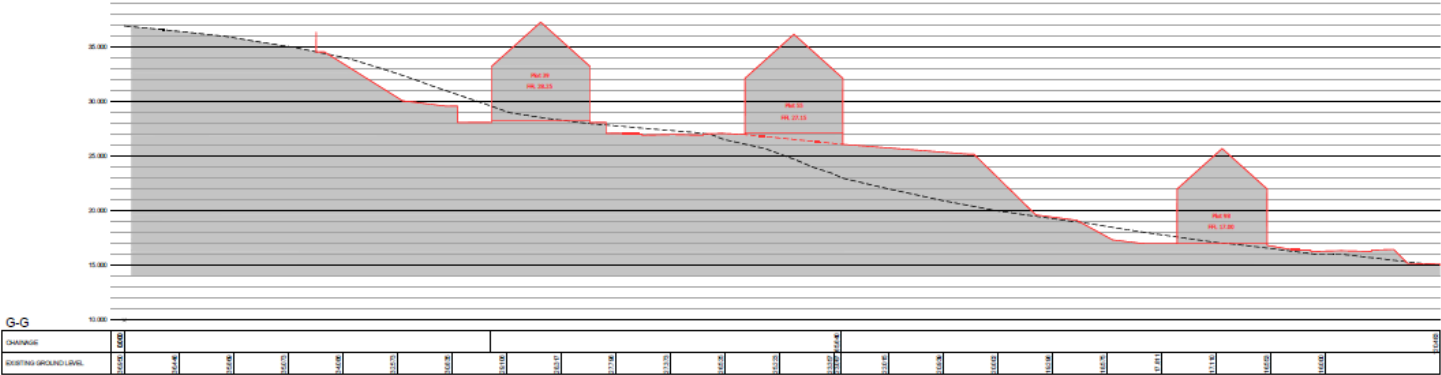
The existing ground levels along the side of the proposed road are to be confirmed by the Contractor before works commence.

All works which are to be the subject of a Section 55 Agreement are to be coordinated in accordance with the Local Highway Authority's current specifications and to the satisfaction of the Local Highway Authority's Engineer.

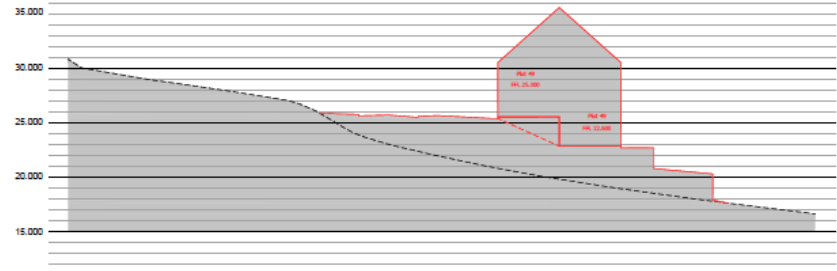
All construction methods and materials employed are to be in accordance with the current road and drainage specifications. All road construction provisions are to be confirmed by suitable CIL to comply in accordance with Central Bedfordshire County Council requirements.

No responsibility will be taken for any coordination with utility services (prior to receipt of technical approvals for the proposed construction) or when work is not watched/ability in accordance with the drawings.

A sewer or water pipe should not be located closer to than 1.0metre to either side of the service width of culvert height, except where special protection measures are provided (e.g. use of appropriate barriers or enclosures from adjacent pavements with sealed joints).

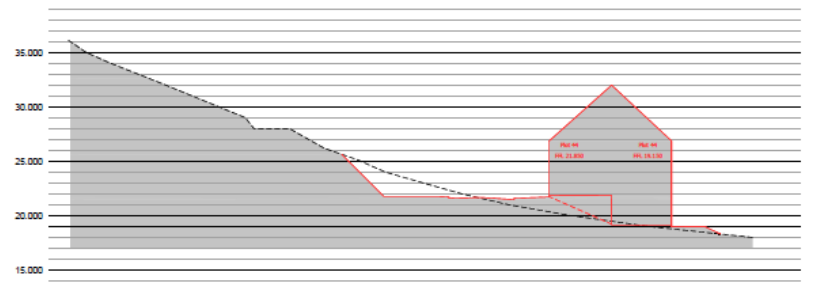


S/36993



I-I

CHAINAGE	10+00	10+05	10+10	10+15	10+20	10+25	10+30	10+35	10+40	10+45	10+50	10+55	10+60	10+65	10+70	10+75	10+80	10+85	10+90	10+95	11+00
EXISTING GROUND LEVEL	30.500	29.500	28.500	27.500	26.500	25.500	24.500	23.500	22.500	21.500	20.500	19.500	18.500	17.500	16.500	15.500	14.500	13.500	12.500	11.500	10.500



J-J

CHAINAGE	8+00	8+05	8+10	8+15	8+20	8+25	8+30	8+35	8+40	8+45	8+50	8+55	8+60	8+65	8+70	8+75	8+80	8+85	8+90	8+95	9+00
EXISTING GROUND LEVEL	30.500	29.500	28.500	27.500	26.500	25.500	24.500	23.500	22.500	21.500	20.500	19.500	18.500	17.500	16.500	15.500	14.500	13.500	12.500	11.500	10.500

GENERAL NOTES:
 The Contractor is to check and verify all building and site dimensions, levels, and water level marks of construction points before work starts. Any discrepancies are to be reported to Spring Design before work commences.

The Contractor is to comply in all respects with current building regulations - Building Regulations, Specifications, Building Regulations etc., whether or not specifically stated on the drawing.

The drawing must be read with and checked against any drawings, specifications or other special instructions provided.

This drawing is not intended to show details of foundations, ground conditions or ground water levels. Each area of ground shall open to support any structure proposed. Detailed investigations shall be investigated by the Contractor. A suitable method of foundation shall be proposed, allowing for all existing ground conditions. The weight of all ground, foundations or in walls, the ground, should be further investigated by a suitable expert. Any settlement consideration should include special design for ground only and should be further investigated by a suitable expert.

Where existing trees are shown to be retained they should be subject to a Tree Preservation Order for safety.

All works shall be in accordance with the current specifications and to the satisfaction of the Local Highway Authority's Engineer.

All construction methods and materials employed are to be in accordance with the current codes and engineering specifications. All road construction materials are to be certified by suitable C.S.A. being in accordance with the requirements of the Local Highway Authority's Engineer.

No responsibility will be taken for any construction work undertaken prior to receipt of technical approvals for the transfer of construction or other work is not warranted ability in accordance with the drawings.

A sewer or other pipe shall not be located closer to these foundations than the depth width of surface (height) except where special provisions otherwise are provided (e.g. use of appropriate surface or construction from project permit with retained joints).

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Rev	Date	Description	By
A	05.04.18	Levels amended	MCC
B	25.06.18	Updated to latest site layout following planners comments.	CM

Status: **PRELIMINARY**

Drawn: EA
 Checked: MCC
 Date: Feb 2018
 Scale: 1:200 (A1)

Client: Publ Group
 Project: Pwll Road, Barry Port
 Title: Site Sections (6 of 6)
 Ref: 2249/635-6

Rev: 0

Unit 2 Chapel Works | Market Mawr
 Milgwyn | CF32 0LW | 01686 86287
 mail@spring-consultancy.co.uk

S/36993



Tree Constraints Plan

Site: S/36993
Project No: 1013
Scale: 1:500 @ 11"

Legend

- Category 1 (High) (Preserve & Enhance)
- Category 2 (Medium) (Preserve & Enhance)
- Category 3 (Low) (Preserve & Enhance)
- Category 4 (None) (Preserve & Enhance)

Other Symbols

- Proposed Road
- Proposed Path
- Proposed Structure
- Proposed Utility
- Proposed Fencing
- Proposed Landscaping
- Proposed Planting
- Proposed Tree Removal
- Proposed Tree Retention
- Proposed Tree Preservation
- Proposed Tree Protection
- Proposed Tree Relocation
- Proposed Tree Translocation
- Proposed Tree Transplantation
- Proposed Tree Translocation
- Proposed Tree Transplantation

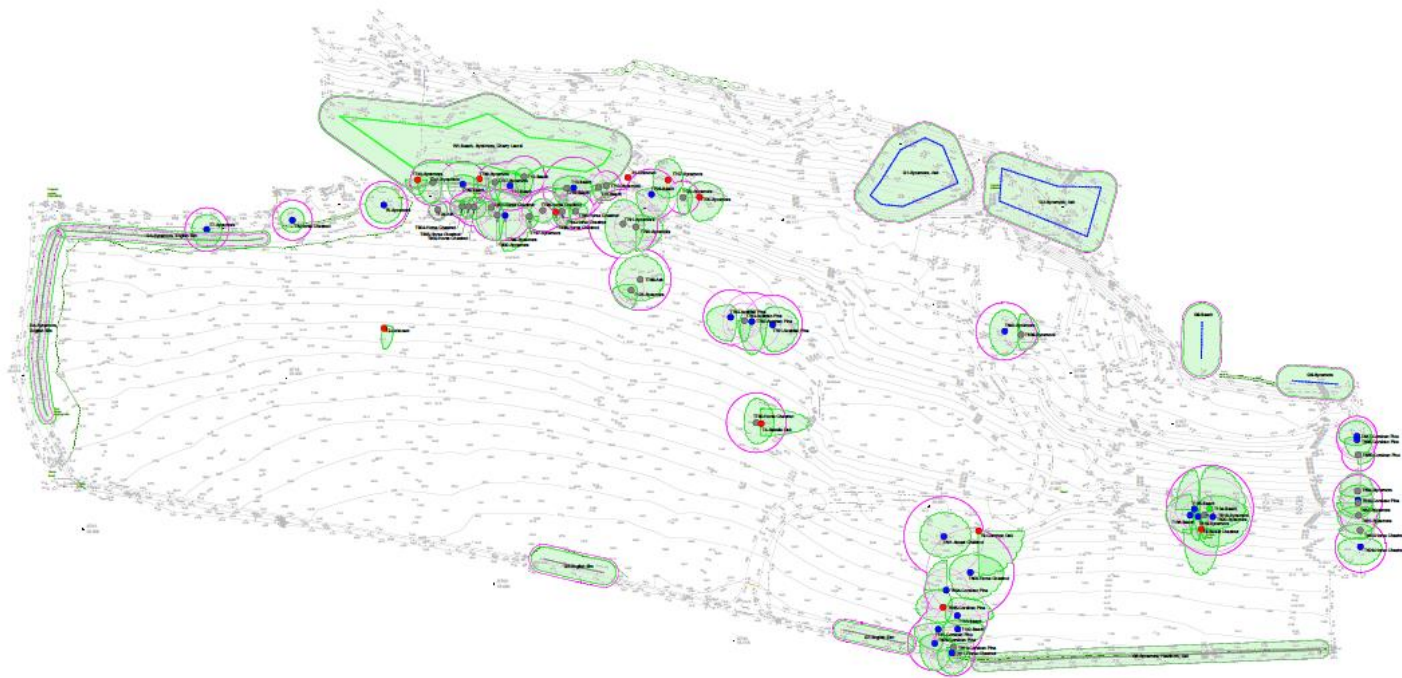
Notes

1. This plan shows the proposed tree constraints for the site. The tree constraints are shown in the legend and are based on the tree's size, species, and location.
2. The tree constraints are shown in the legend and are based on the tree's size, species, and location.
3. The tree constraints are shown in the legend and are based on the tree's size, species, and location.
4. The tree constraints are shown in the legend and are based on the tree's size, species, and location.
5. The tree constraints are shown in the legend and are based on the tree's size, species, and location.

Tree Constraints Plan

The Tree Constraints Plan is a key component of the site plan, showing the location and size of trees that are to be preserved, enhanced, or removed. The plan is based on the tree's size, species, and location, and is shown in the legend. The tree constraints are shown in the legend and are based on the tree's size, species, and location.

S/36993



Tree Constraints Plan

Site: [Blank]
Project: [Blank]

- Category A (High) [Tree Icon]
- Category B (Medium) [Tree Icon]
- Category C (Low) [Tree Icon]
- Category D (Special) [Tree Icon]

Tree Protection Buffer: [Blank]

Tree Protection Area (TPA) is the area around a tree that is to be protected. It is defined by the tree's canopy and the trunk diameter.

Tree Protection Buffer (TPB) is the area around the TPA that is to be protected. It is defined by the tree's canopy and the trunk diameter.

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